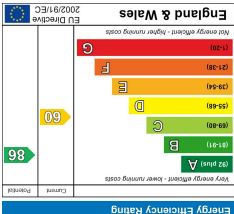
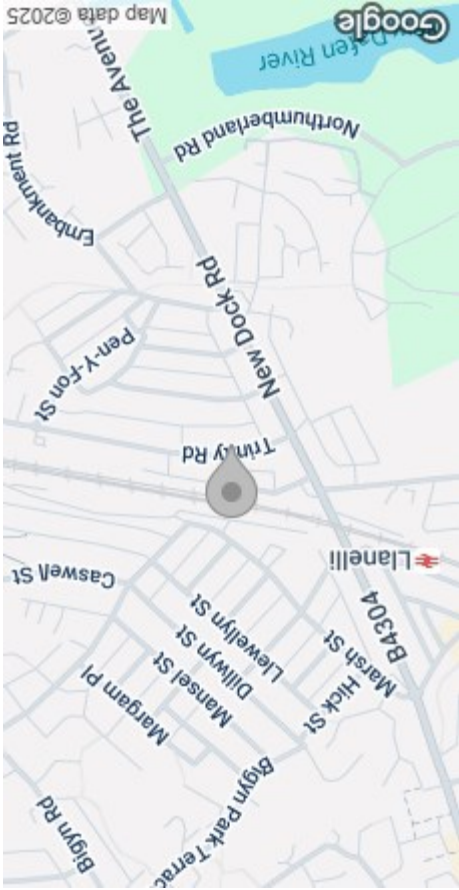


These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements or representations of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

Whilst every attempt has been made to ensure the accuracy of the description contained herein, measurements of areas, volumes, rooms, etc. are approximate and no responsibility is taken for any errors or omissions. The service, systems and appliances shown have not been tested and no guarantee is given as to their operation or efficiency. The service, systems and appliances shown have not been tested and no guarantee is given as to their operation or efficiency. The service, systems and appliances shown have not been tested and no guarantee is given as to their operation or efficiency.



EPC



AREA MAP



FLOOR PLAN



18 Trinity Road  
, Llanelli, SA15 2AD  
Offers Around £120,000

3 1 1 D



GENERAL INFORMATION

Welcome to this charming mid-terrace house located on Trinity Road in the market town of Llanelli.

As you step inside, you are greeted by a spacious lounge/dining room, ideal for entertaining guests or simply relaxing after a long day. The well-equipped kitchen is perfect for whipping up delicious meals, while the inner lobby and utility area provide convenience and functionality.

Upstairs, you will find three comfortable bedrooms, offering plenty of space for the whole family. The family bathroom is well-appointed.

Outside, the property features a front forecourt, adding to the character of the home, and an enclosed level rear garden, perfect for enjoying some outdoor time in privacy.

Located close to amenities, this property offers the perfect blend of convenience and comfort.  
FREEHOLD=COUNCIL TAX BAND C= EPC-D

FULL DESCRIPTION

ENTRANCE

HALLWAY

LOUNGE/DINING ROOM  
21'6" x 12'0" narrowing to 11'7"  
(6.555 x 3.677 narrowing to 3.555)

KITCHEN  
14'0" x 9'8" (4.269 x 2.960)

INNER LOBBY

UTILITY AREA  
9'9" x 5'7" (2.986 x 1.706)

FIRST FLOOR

BEDROOM ONE  
16'8" x 10'11" (5.087 x 3.349)



BEDROOM TWO  
11'10" x 9'11" (3.626 x 3.034)

BATHROOM  
6'6" x 4'10" (2.002 x 1.489)

BEDROOM THREE  
9'9" x 9'1" (2.990 x 2.786)

EXTERNAL

FRONT FORECOURT

REAR GARDEN

ADDITIONAL INFORMATION

You are advised to refer to Ofcom checker for mobile signal and coverage.  
Electric - TBC  
Gas - TBC  
Water - Billed  
Broadband: N/A

