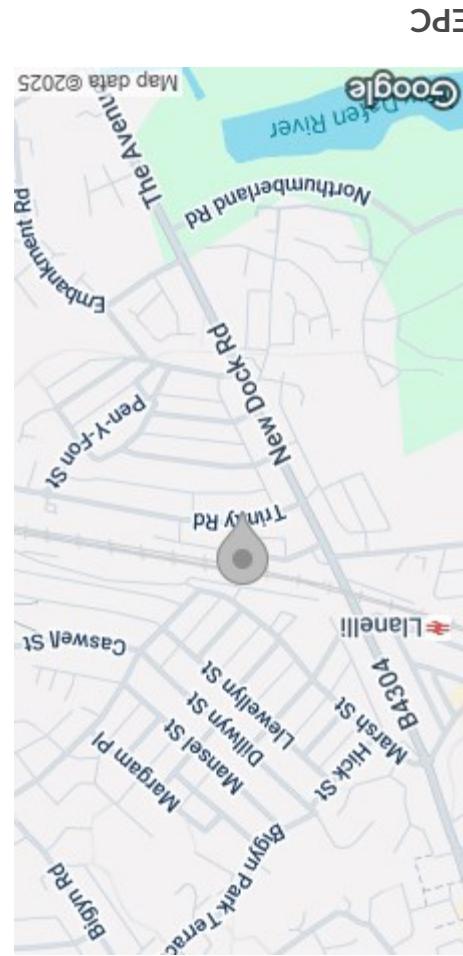


These particulars or representations of facts, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

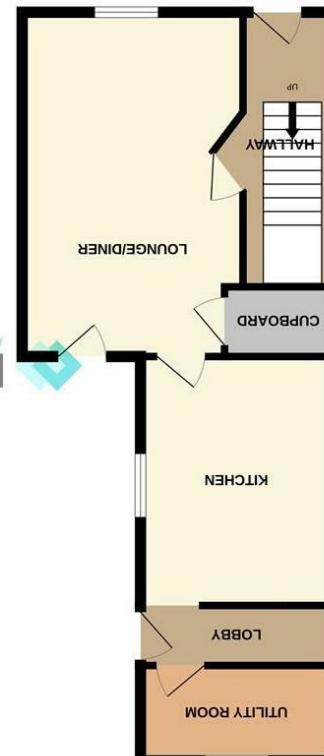


AREA MAP

FLOOR PLAN



1ST FLOOR



GROUND FLOOR



18 Trinity Road
Llanelli, SA15 2AD
Offers Around £120,000



GENERAL INFORMATION

Welcome to this charming mid-terrace house located on Trinity Road in the market town of Llanelli.

As you step inside, you are greeted by a spacious lounge/dining room, ideal for entertaining guests or simply relaxing after a long day. The well-equipped kitchen is perfect for whipping up delicious meals, while the inner lobby and utility area provide convenience and functionality.

Upstairs, you will find three comfortable bedrooms, offering plenty of space for the whole family. The family bathroom is well-appointed.

Outside, the property features a front forecourt, adding to the character of the home, and an enclosed level rear garden, perfect for enjoying some outdoor time in privacy.

Located close to amenities, this property offers the perfect blend of convenience and comfort.

FREEHOLD=COUNCIL TAX BAND C= EPC-D



FULL DESCRIPTION

ENTRANCE

HALLWAY

LOUNGE/DINING ROOM

21'6" x 12'0" narrowing to 11'7"
(6.555 x 3.677 narrowing to
3.555)



KITCHEN

14'0" x 9'8" (4.269 x 2.960)

INNER LOBBY

UTILITY AREA

9'9" x 5'7" (2.986 x 1.706)

FIRST FLOOR

BEDROOM ONE

16'8" x 10'11" (5.087 x 3.349)



BEDROOM TWO

11'10" x 9'11" (3.626 x 3.034)

BATHROOM

6'6" x 4'10" (2.002 x 1.489)

BEDROOM THREE

9'9" x 9'1" (2.990 x 2.786)

EXTERNAL

FRONT FORECOURT

REAR GARDEN

ADDITIONAL INFORMATION

You are advised to refer to Ofcom checker for mobile signal and coverage.

Electric - TBC

Gas - TBC

Water - Billed

Broadband: N/A

